

Part 5 Application **ACCESS REPORT**

Reference Number: 23380

Client:

Kennedy Associates Architects

Site Address:

10 Lagoon Street and 75-77 Murray
Street, Moruya, NSW



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Executive Summary and Design Compliance Statement

This Access Compliance Report is to accompany a Part 5 application for the development proposed at **10 Lagoon Street and 75-77 Murray Street, Moruya, NSW.**

The development is within Eurobodalla Shire Council LGA and proposes **New Buildings.**

This development proposes a total of 18 Residential units with access to the road frontage of Murray Street and a dual occupancy development to the frontage of Lagoon Street.

The Council requires 25% of Adaptable units to a **Class C** level and therefore 5 adaptable units are required to be provided in the development. However, Client has accepted provision of 3 adaptable units in the development on the basis that townhouses 1 to 4 are designed to achieve compliance with LHA Silver Livable.

The development proposes the following:

Residential units	18
Adaptable units	3
Livable Housing Units	4
Total Accessible parking spaces	3
Accessible parking spaces for residential component	3

The development has building classification as detailed below:

- Class 1a (detached house or attached dwellings such as townhouses or villas)
- Class 2 (building containing more than 2 SOUs i.e., sole-occupancy units)

This report is based on the relevant components of:

- Building Code of Australia (BCA) 2022, Volume 1- Performance requirements of D1P1, D1P2, D1P8, D1P9, E3P4, F4P1 and Parts D4, E3 and F4 (where applicable)
- Disability (Access to Premises-Building) Standards 2010 (henceforth referred to as APS)
- AS1428.1-2009 Part 1: General requirements for access, including any amendments
- AS1428.4.1-2009 Part 4.1: TGSIs (Tactile ground surface indicators), including any amendments
- AS2890.6-2009 Part 6: Off-street parking for people with disabilities.
- AS4299-1995 Adaptable Housing
- Livable Housing Australia's Livable Housing Design Guidelines- Fourth Edition

The assessment of the proposed development has been undertaken to the extent necessary to issue a Part 5 consent. The proposal achieves the spatial requirements to provide access for people with a disability and it is assumed that assessment of the detailed requirements such as assessment of internal fit-out, details of stairs, ramps and other features will occur at CC (Crown Certificate) stage.

By compliance with the recommendation in this report, the Class 2 component of the development complies with the requirements of Access Code of Disability (Access to Premises-Building) Standards 2010, and the Disability Access relevant sections of Building Code of Australia and the essential criteria of AS4299-Adaptable Housing.

The unit numbers 1, 2, 3, 4, 17 & 18 in this development are classified as a Class 1a and therefore the development is exempt from Disability Access related requirements of the BCA/NCC Volume 1 and no requirements apply under the Access Code of Disability (Access to Premises-Building) Standards 2010 to these particular units.

The information contained in this statement is true and accurate to the best of our knowledge.
Our qualifications and accreditations are listed below.

Assessed by

J Desai

Jenny Desai

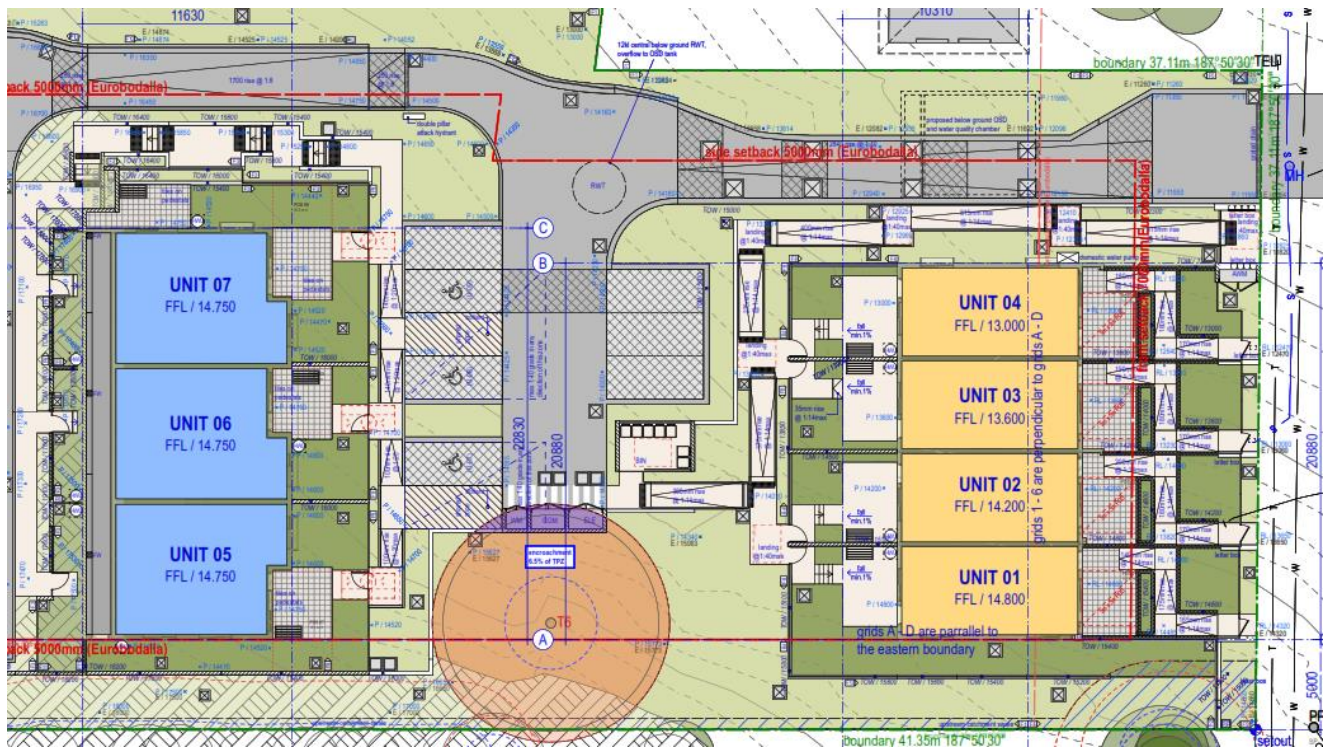
Accredited Access Consultant and LHA Assessor
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Peer reviewed by

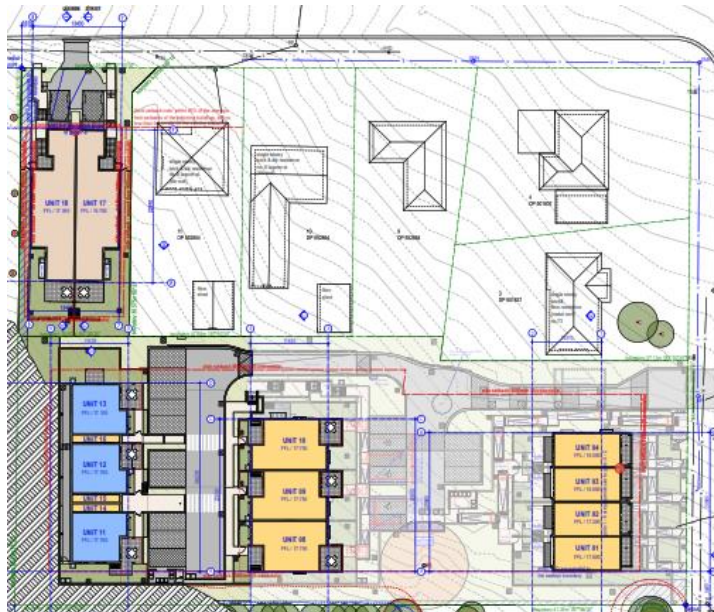
F Madon

Farah Madon

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ACAA Accredited Membership number 281
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LHA Assessor Licence number 10032



Adaptable unit location shown in blue above and the Livable housing units location shown in yellow above.



Full site plan shown above

Relevant Dates:

Fee proposal, number FP-230752 dated **3-10-2023**. Fee proposal was accepted by Client on **15-12-2023**

Assessed Drawings:

The following drawings by Kennedy Associates Architects have been assessed for compliance.

Drawing no	Issue	Date	Details
DA000	Issue B	12-02-2024	Cover sheet
DA104	Issue B	12-02-2024	Site plan- Level 00
DA105	Issue B	12-02-2024	Site plan- Level 01
DA106	Issue B	12-02-2024	Site plan- Level 02
DA107	Issue B	12-02-2024	Site plan- Roof Level
DA111	Issue B	12-02-2024	Site works plan- Level 00 – Part 1
DA112	Issue B	12-02-2024	Site works plan- Level 00 – Part 2
DA113	Issue B	12-02-2024	Site works plan- Level 01 – Part 1
DA114	Issue B	12-02-2024	Site works plan- Level 01 – Part 2
DA115	Issue B	12-02-2024	Site works plan- Level 02
DA201	Issue B	12-02-2024	Floor plan- Level 00 – Part 1
DA202	Issue B	12-02-2024	Floor plan- Level 00 – Part 2
DA203	Issue B	12-02-2024	Floor plan- Level 01 – Part 1
DA204	Issue B	12-02-2024	Floor plan- Level 01 – Part 2
DA205	Issue B	12-02-2024	Floor plan- Level 01 – Part 3
DA206	Issue B	12-02-2024	Floor plan- Level 02
DA207	Issue B	12-02-2024	Roof plan – Part 1
DA208	Issue B	12-02-2024	Roof plan – Part 2
DA209	Issue B	12-02-2024	Roof plan – Part 3

Document Issue:

Issue	Date	Details
Draft 1	12-02-2024	Issued for Architect's review
A	16-02-2024	Issued for Part 5

Limitations and Copyright information:

This report is based on discussions with the project architect and a review of drawings and other relevant documentation provided to us. No site visit was undertaken for the purposes of this report.

This assessment is based on the provided drawings and not based on constructed works; hence the assessment will provide assurance of compliance only if all the recommendations as listed in this report are complied with and constructed in accordance with the requirements of the current BCA, AS1428.1, AS2890.6 and other latest, relevant standards and regulations applicable at the time of construction.

Assessment is based on classification/use of the building. If the class of the building changes to any other building class, this access report will have to be updated accordingly.

Unless stated otherwise, all dimensions mentioned in the report are net (CLEAR) dimensions and are not to be reduced by projecting skirting, kerbs, handrails, lights, fire safety equipment, door handles less than 900mm above FFL (finished floor level) or any other fixtures/fit out elements. When we check drawings, we assume that the dimensions noted are CLEAR dimensions and therefore the Architect / Builder shall allow for construction tolerances.

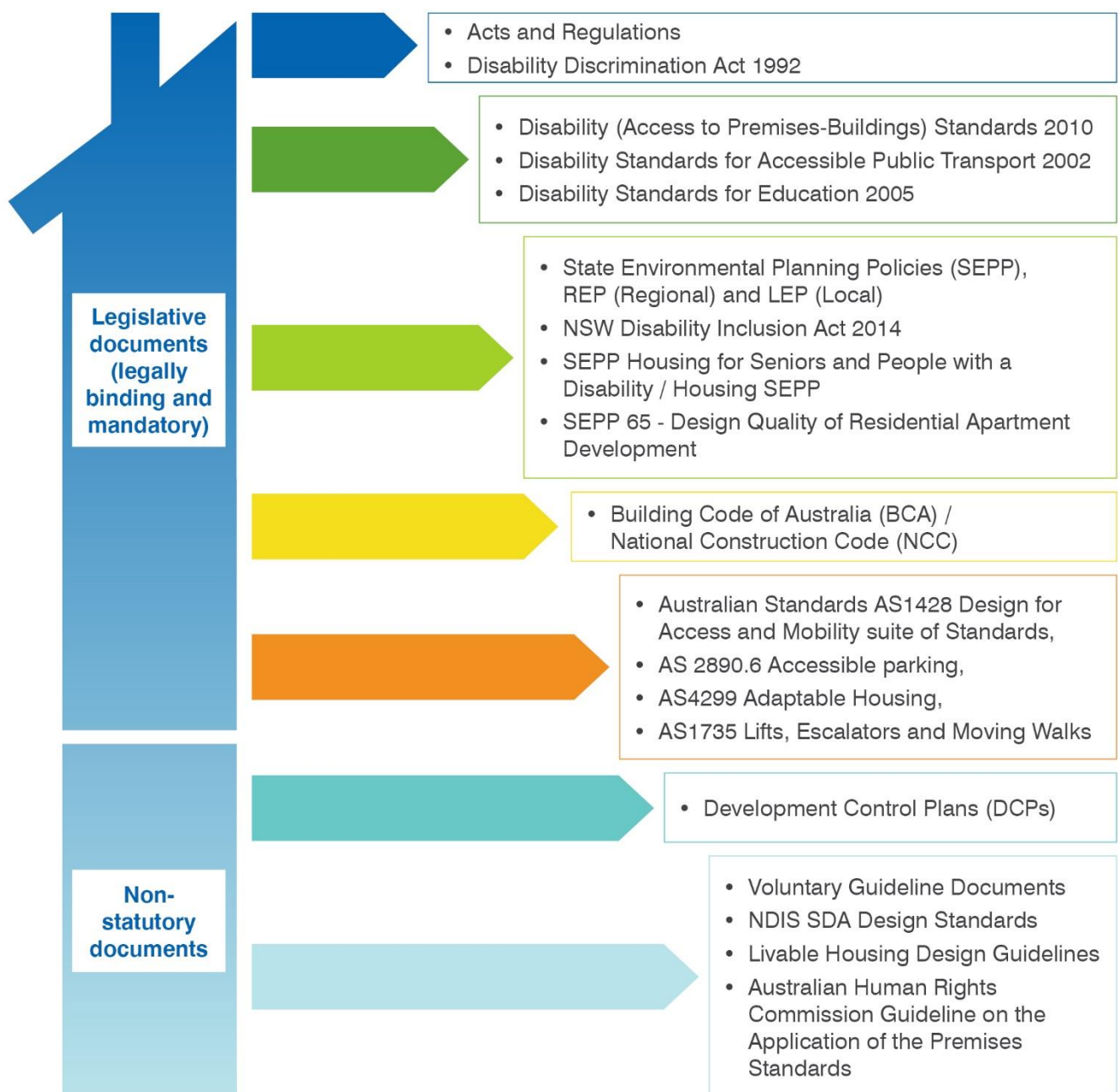
Only some numerical requirements from relevant AS (Australian Standards) have been noted in the report and for further details and for construction purposes refer to the latest relevant AS.

This report and all its contents including diagrams are a copyright of Vista Access Architects Pty Ltd (VAA) and can only be used for the purposes of this specific project. Copy-pasting diagrams from this report to Architectural plans will constitute copyright infringement.

This report does not assess compliance matters related to WHS, Structural design, Services design, Parts of DDA other than those related to APS or Parts of BCA or Parts of AS other than those directly referenced in this report. VAA gives no warranty or guarantee that this report is correct or complete and will not be liable for any loss arising from the use of this report. We will use our best judgement regarding LHA assessments. However, we are not to be held responsible if another licenced LHA assessor comes to a different conclusion about compliance, certification, or allocation of a particular Quality mark to us as several items in LHA are subject to interpretation.

We have no ability to check for slip resistance of surfaces. All wet areas, parking areas, pavement markings shall have the appropriate slip resistance for the location. We also have no ability to check for wall reinforcements once the walls have already been constructed. The builder shall take full responsibility that the requirements listed in this report are met and the construction and slip resistance shall be as per requirements of AS1428.1/ AS4299 / AS2890.6/ AS3661/ AS4586/ HB197/ HB198 and any other applicable regulation and Australian Standard

Hierarchy of Access-related Legislation and Standards



The Federal Disability Discrimination Act 1992 (DDA) provides protection for everyone in Australia against discrimination based on disability. Section 32 of the DDA focuses on the provision of equitable and dignified access to services and facilities for people with mobility, sensory and cognitive disabilities.

Disability discrimination happens when people with a disability and their relatives, friends, carers, co-workers or associates are treated less fairly than people without a disability.

Compliance with Access to Premises Standards give certainty to building certifiers, building developers and building managers that, if access to (new parts) of buildings is provided in accordance with these Standards, the provision of that access, to the extent covered by these Standards, will not be unlawful under the DDA. This however applies only to the new building or new parts of an existing building and its affected part. All areas outside the scope of these areas are still subject to the DDA. We cannot guarantee or certify for DDA compliance because DDA compliance can only be assessed by the Courts.

Scope of DDA extends beyond the building fabric and also includes furniture and fittings.

Compliance assessment with Access related requirements of BCA and Disability (Access to Premises-Building) Standards 2010 (APS)

Development consists of new building/s and therefore compliance is required to full development

BCA 2022 Part D4 Access for People with a Disability

D4D2 General building Access requirements

SOU refers to a Sole Occupancy Unit

Requirement

Class 1a - detached house or attached dwellings such as townhouses or villas

Compliance For information only

Comments

All Class 1a components in the development (Units - **1, 2, 3, 4, 17 & 18**) are exempt from Disability Access related requirements of the BCA. Therefore, the villas facing Murray Street and the dual occupancy development fronting Lagoon Street does not have any access related requirements.

Requirement

Class 2 - building containing more than 2 SOUs i.e. sole-occupancy units

For residential use components, access is required:

- From a required accessible pedestrian entrance to at least 1 floor with SOUs and till the entry of door of each SOU on that level.
- To and within 1 of each type of room or space in common use.
- Where floor is accessed by an AS1428.1 ramp or lift, access is required to the entry doorway of each SOU on that level and to and within all common use areas on that level.

Compliance Capable of compliance

Comments

- Access has been provided from the main pedestrian entry doorway to the entry doors of all SOUs on at least one floor level by means of accessible pathways
- Since access has been provided to the entry level, lift access is not required to the upper floor levels
- Access has been provided to at least 1 of each common use areas
- Where common use areas are on a floor that is accessible by means of a ramp or lift (Ground floor level 00 in this case), access has been provided to the same.
- Access has been provided to common use garbage storage area
- Access is provided to common use letterbox area with min 1540x2070mm flat circulation space in front of the letterboxes.
- As a minimum 1550mm clear space is required in front of any common use kitchen / laundry benchtops / BBQ areas, where provided in the development
- All common use accessway widths are to be a minimum of 1M clear measured from skirting to skirting (increases to comply with door circulation spaces where doorways provided) with vertical clearance of at least 2M.
- Step free access to rear units is not provided due to the grade of the site. Class 2 states that access is required to "at least 1 floor containing sole occupancy units" and therefore since access is provided to some of the Class 2 units on some levels, we are of the opinion that step free access to all units to all levels is not required under the NCC.
- All adaptable units have been provided with step free access.

Advisory note for any common use kitchen/laundry or BBQ areas (where provided)

- It is suggested that kitchen / BBQ areas could be made partially accessible by providing a workspace of 900mm width next to the sink/cooktop/BBQ as vacant space (without cabinetry under the bench top)
- Provide long lever tap to sink with and handle and water source being within 300mm from the front edge of the benchtop.
- Provide 1 (30x30mm switch size) double GPO fully within 300mm from the front edge of the benchtop.

Details to be verified at CC stage of works.

BCA 2022 Part D4D3 Access to buildings

Requirement

Accessway is required from:

- Main pedestrian entry at the site boundary for new buildings.
- Any other accessible building connected by a pedestrian link.
- Accessible car parking spaces.

Compliance

Complies with spatial requirements

Comments

Entry via Murray Street:

- Access by means of 1:14 grade ramps and 1:20 walkways have been provided from the main pedestrian entry at the site boundary to the adaptable units
- Access has been provided from accessible car parking spaces by means of accessible pathways to the adaptable units.

Details to be verified at CC stage of works.

Requirement

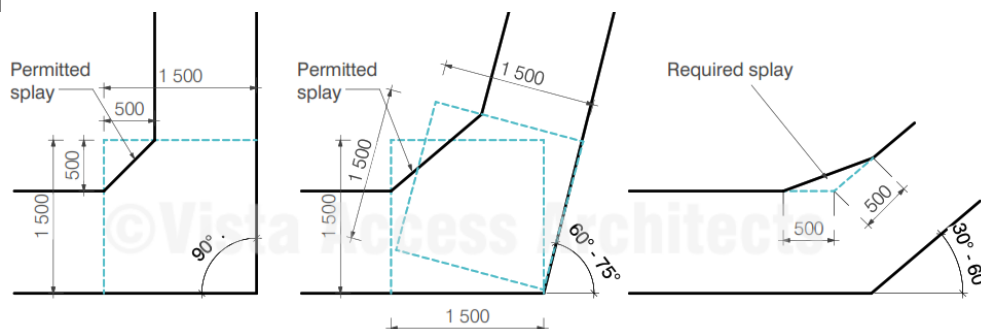
Common use External Walkway / Pedestrian access requirements as per AS1428:

- Accessible path of travel to have a gradient no steeper than 1 in 20 and a cross fall no steeper than 1:40 (1:33 for bitumen).
- For 1:20 grade walkways, 1200mm flat landings are required every 15M.
- The floor surface abutting the sides of the walkway to be provided with a firm and level surface (of a different material) at the same level and grade of the walkway and extend horizontally for a minimum of 600mm unless one of the following is provided: kerb, kerb-rail and handrail or wall of minimum 450mm height.
- At 60 to 90-degree bends in pathways provide a 1500mmx1500mm space with maximum 500mm splay permitted at internal corner.

Compliance

Complies with spatial requirements

Comments



Details to be verified at the CC stage of works.
[Image description: Spatial requirements of walkways with bends as per AS1428.1]

Requirement

Common use floor or ground surfaces

- Use slip-resistant surfaces
- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability.
- Abutment of surfaces is to have a smooth transition.
- Construction tolerances to be +/- 3mm vertical or +/-5mm, provided the edges have a bevelled or rounded edge (See diagrams below)
- Where timber decking and boardwalks are provided it is recommended that AS1428.1-2021 requirements be followed.

Grates if used in the accessible path of travel are required to comply with the following:

- Circular openings maximum of 13 mm in diameter
- Slotted openings maximum of 13 mm wide and be oriented so that the long dimension is transverse to the dominant direction of travel
- Where slotted openings are less than 8 mm, the length of the slots may continue across the width of paths of travel

Compliance

Capable of compliance

Comments

Details to be verified at the CC stage of works.

Requirement

Accessway is required through:

- Principal pedestrian entry; and
- Not less than 50% of all pedestrian entrances; and
- In building with floor area over 500m², a non-accessible entry must not be located more than 50M from an accessible entry.

Compliance

Complies

Comments

50% of the pedestrian entries, including the main entry have been designed to be accessible with a non-accessible entry not more than 50M from an accessible entry.

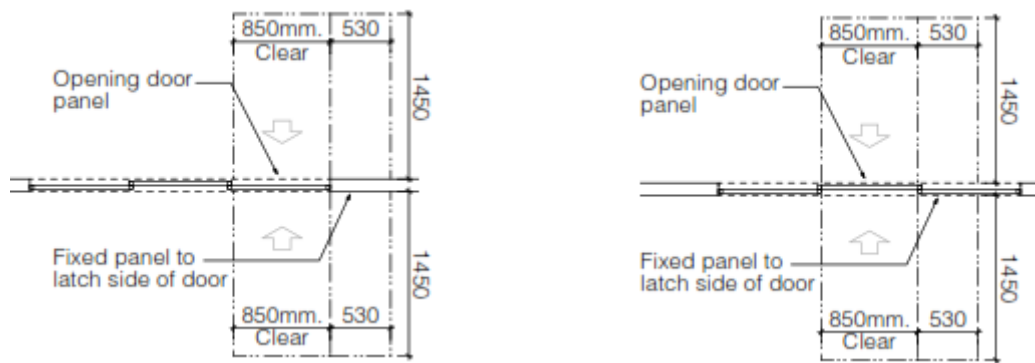
Requirement

All common use doorways AND to the main entry door of Adaptable units to comply with AS1428.1
Where accessible pedestrian entry has Multiple doorways:

- At least 1 to be accessible if 3 provided
- At least 50% to be accessible, if more than 3 provided
- Where doorway has multiple leaves, at least 1 leaf is to have clear opening of 850mm (excluding automatic doors)

Doorway requirements

- All common use doorways in the development within accessible path of travel (other than doorways non-accessible sanitary facilities) to have a clear opening of at least 850mm with appropriate door circulation spaces in accordance with AS1428.1. In case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1.
- Ambulant toilet cubicle door to have a clear door opening of 700mm.



[Image description: Diagram showing requirements for door circulation spaces and door threshold requirements as per AS1428.1 for clear opening of 850mm]

BCA 2022 Part D4D4 Parts of buildings required to be accessible

Requirement

Every common use **Ramp** with grades steeper than 1:20 and less than or equal to 1:14 (excluding fire-isolated ramp) is to be compliant with AS1428.1, including (but not limited to):

- Maximum gradient of 1:14 with 1.2M flat landings at top, bottom and at maximum 9M of ramp and appropriate turning spaces as required by AS1428.1.
- 1M clear width to be provided between handrails / kerb / kerbrails. (curved ramps to be min 1.5M width between handrails / kerb / kerbrails with crossfall towards the centre of curvature) and located at height between 865mm-1000mm above FFL (finished floor level).

AS1428 compliant handrails and kerbs to be provided on both sides with appropriate extensions

Compliance

Complies with spatial requirements

Comments

Detailed features will be assessed with the requirements of AS1428.1 at the CC stage of works.

Requirement

Step ramp if provided in common use areas is to be compliant with AS1428.1 including;

- Max grade of 1:10, max height of 190mm, max length of 1.9M
- 1M clear width between handrails / kerb / kerbrails / walls
- A landing for a step ramp must not overlap a landing for another step ramp or ramp

Compliance

N/A

Comments

This type of ramp has not been identified in the development.

Requirement

Kerb ramp if provided in common use areas is to be compliant with AS1428.1 including;

- Maximum grade of 1:8, maximum height of 190mm, maximum length of 1520mm
- Landings as per AS1428.1

Compliance

N/A

Comments

This type of ramp has not been identified in the development.

Requirement

Every **Stairway** in common use areas (excluding fire-isolated stairway) is to be compliant with AS1428.1 including;

- Handrails to be provided on both sides with 1M clearance between them and located at consistent height, between 865mm-1000mm above FFL, with no vertical sections.
- Either provide handrail extensions or offset first riser going up at mid landings
- Opaque risers required with nosing to have a sharp intersection or rounded or chamfered to 5mm.
- Handrails to extend a minimum of 300mm horizontally past the nosing on the top riser. At the bottom of the stairs the handrail is to extend at least one tread depth parallel to the line of the nosing, plus a minimum of 300mm horizontally from the last riser.

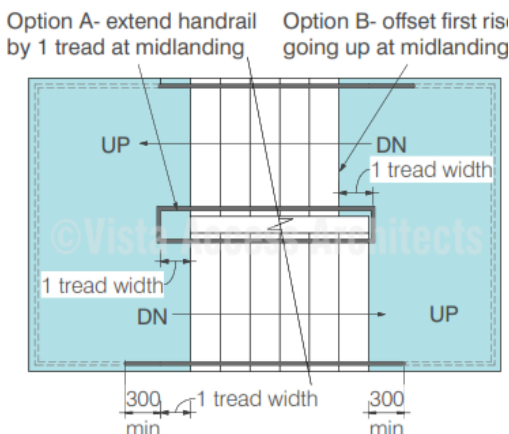
Compliance

Complies with spatial requirements

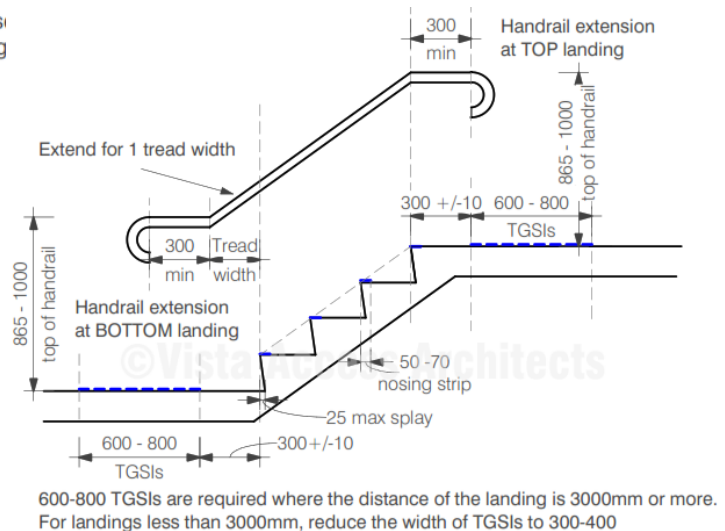
Comments

Where this type of stairway is provided, the details of the stairway will be assessed with the relevant requirements of AS1428.1 at the CC stage of works.

Note: In some cases, the stairway from the basement to the ground floor level is considered to be non-fire-isolated, in which case full compliance will be required as per AS1428.1. Verify with the BCA consultant if this is the case.



[Image description: Diagram showing the requirements of a non-fire-isolated stairway as per AS1428.1]



Requirement

- Every **Fire-isolated Stairway** is to be compliant with AS1428.1 as required

Compliance

N/A

Comments

This type of stairway has not been identified in the development.

Requirement

Nosing for common use fire-isolated and non-fire-isolated stairways require the following:

- Each tread to have a nosing strip between 50mm-75mm depth (of any one colour) for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing.
- Multiple strips making up the 50mm-75mm depth is NOT permitted.
- This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.
- Where the nosing strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10mm

Compliance

Capable of compliance

Comments

Detailed features of the nosing strips will be assessed with the requirements of AS1428.1 at the CC stage of works.

Requirement

Slip resistance to comply with BCA 2022, Table D3D15 and AS2890.6 when tested in accordance with AS4586.

BCA 2022 Table D3D15 Slip –resistance requirements when tested in accordance with AS4586:

Application (common use areas)	Surface conditions	
	Dry	Wet
Ramp (and accessways to accessible parking spaces) steeper than 1:14	P4 or R11	P5 or R12
Ramp steeper than 1:20 but not steeper than 1:14	P3 or R10	P4 or R11
Accessways to accessible parking spaces not steeper than 1:14	P3 or R10	P4 or R11
Tread or landing surface for ramps and stairways	P3 or R10	P4 or R11
Nosing or landing edge strip	P3	P4
Accessible parking spaces and shared areas	P3 or R10	P4 or R11

Slip resistance requirements as per AS4299

AS4299 has slip resistance requirements based on requirements of AS3661 (Slip resistance of pedestrian surfaces) for the following areas:

- Floor surfaces in sanitary facilities including all toilets and bathrooms (essential feature).
- Floor surfaces in the kitchens and Laundries (essential feature).
- Pathways / walkways within the site, within landscaped areas, balconies and other external paved areas (desirable feature for Class A or B developments).
- AS3661.1-1993 is an old Australian standard which has been superseded with AS4586:2013 (Slip resistance classification of new pedestrian surface materials).

HB 197/ HB198 An introductory guide to the slip resistance of pedestrian surface materials provides guidelines for the selection of slip-resistant pedestrian surfaces

Compliance Capable of compliance

Comments

For Slip resistance of surfaces the builder is required to provide a Certificate stating that the Slip resistance of the surfaces comply with the above listed requirements when tested as per AS4586 at CC stage of works.

Requirement

Every **Passenger lift** is to comply with the requirements of **BCA 2022, E3D7**.

Compliance N/A

Comments

No lifts have been identified in the development

Requirement

Passing spaces requirement

It is a requirement to provide passing spaces in common use accessways complying with AS1428.1 at maximum 20 M intervals, where a direct line of sight is not available. Space required is 1800x2800mm (in the direction of travel). Chamfer of 400x400mm is permitted at corners.

Compliance N/A

Comments

There are no accessways over 20M lengths in the development where a direct line of sight is not available

Requirement

Turning spaces requirement

It is a requirement to provide turning spaces in common use accessways complying with AS1428.1 within 2M of the end of accessways where it is not possible to continue travelling and at every 20M intervals. CLEAR Space required is 1540mmx2070mm in the direction of travel (measured from skirting to skirting).

Compliance Complies

Comments

- Adequate turning spaces have been provided with minimum common use passageway widths being 1540mm clear or alternatively a space of 1540mmx2070mm provided at or within 2M of the end of the passageway.

Details to be verified at CC stage of works.

Requirement

Carpet specifications

Carpet if used in areas required to be accessible are to be provided with pile height or thickness not more than 11mm and carpet backing not more than 4mm bringing the total height to a maximum of 15mm.

Compliance N/A

Comments

Use of carpets have not been identified in the common use areas

BCA 2022 Part D4D5 Exemption

Requirement

Access is not required to be provided in the following areas:

- Where access would be inappropriate because of the use of the area
- Where area would pose a health and safety risk
- Any path which exclusively provides access to an exempted area

Compliance For information only

Comments

Areas such as lift machine rooms, fire services room, commercial kitchens, areas in childcare centres such as nappy change room or cot rooms etc or exclusive staff use areas in storage facilities. in the development are exempted from providing access under this clause due to WHS concerns.

Where a caretaker is provided in the development, the toilet provided exclusively for use by the caretaker can be excluded from providing access based on the provisions in this clause.

BCA 2022 Part D4D6 Accessible Carparking

Requirement

Class 2

There are no Accessible carparking requirements for a Class 2 under the BCA.

If adaptable housing has been mandated by the Council, then carparking spaces for Adaptable units will be required under the requirements of AS4299- Adaptable housing.

Compliance Complies with spatial requirements

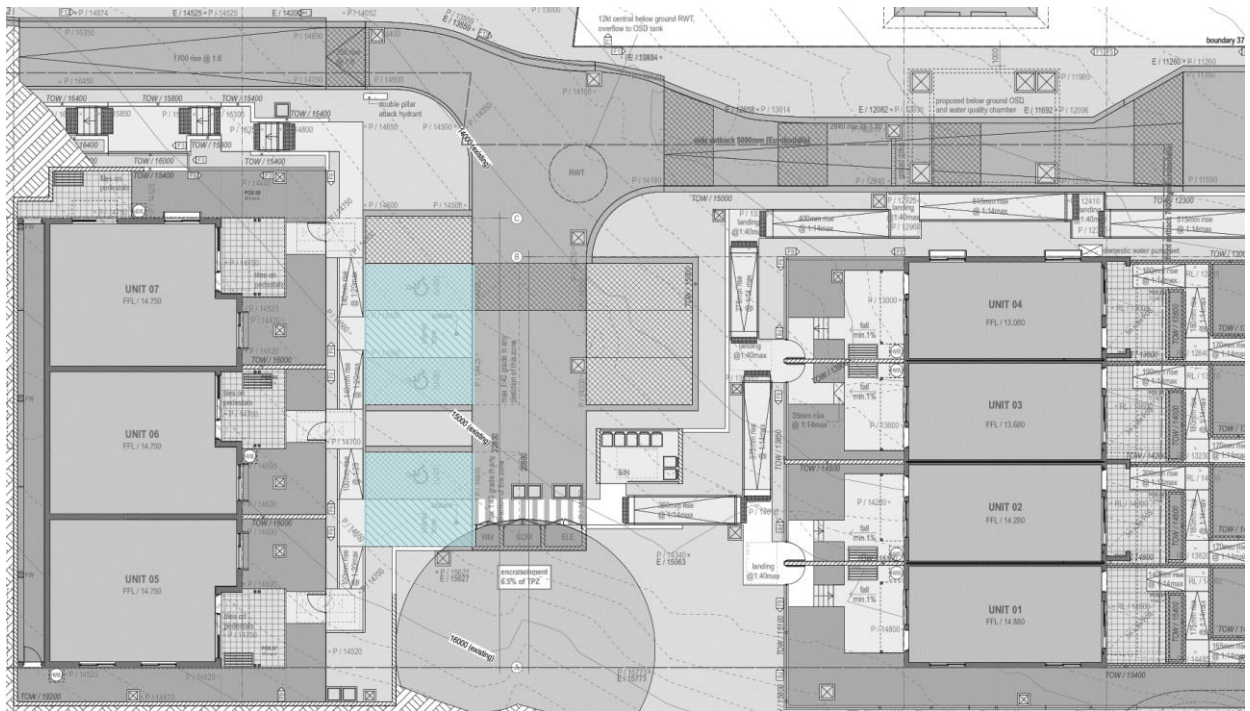
Comments

Eurobodalla Shire Council requires provision of 25% Adaptable units in the development. Development has total number of 18 units. $25\% \text{ of } 18 = 4.5 = 5$ required Adaptable units. However, Client has accepted provision of 3 adaptable units in the development as far as Units 1 to 4 are designed to achieve Silver livable compliance.

Therefore, 3 accessible carparking spaces are required for the residential component of the development.

3 Accessible car parking spaces have been provided in development.

One accessible parking space is required to be allocated to each of the Adaptable units.



[Image description: Plan of Level 00 above shows the provision of Accessible parking spaces]

AS2890.6-2009 requirements for Accessible car parking space

Requirement

Angle Parking AS 2890.6-2009

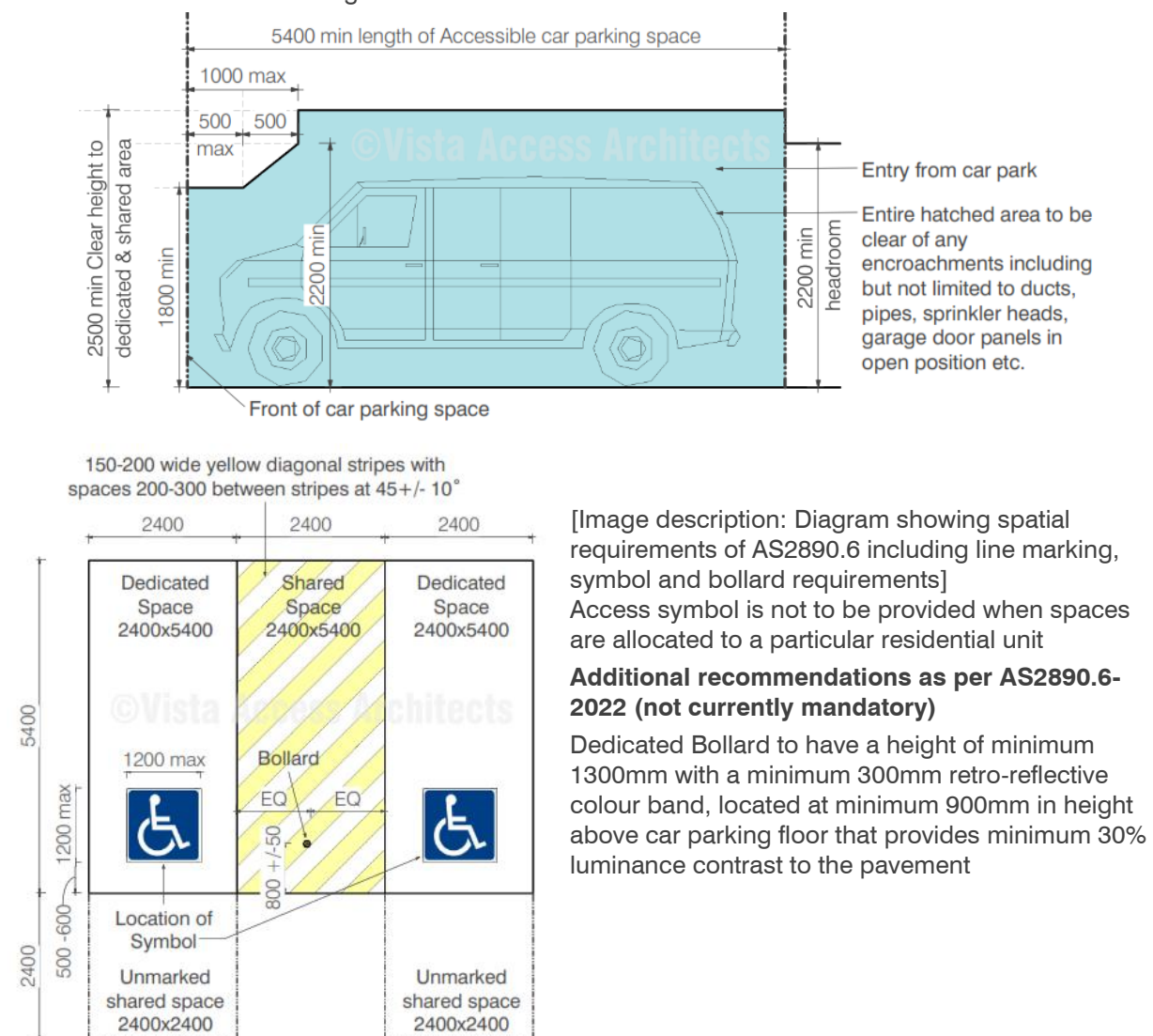
- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M at the same level
- Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors.
- Central Bollard in shared space at 800+/-50mm from entry point.
- Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking is not to be provided where the space is allocated to an Adaptable unit).
- Minimum headroom of 2.2M at entrances and 2.5M is required over shared space as well as dedicated spaces.
- Non-trafficked area of the shared space to have yellow marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)
- Accessible parking spaces, shared areas and the pavement marking shall have slip resistance of P3/R10 in dry and P4/R11 in wet conditions.

Compliance

Complies with spatial requirements

Comments

Details to be verified at CC stage of works.



BCA 2022 Part D4D7 Signage

Requirement

Braille and Tactile signage are required to identify Accessible Sanitary facilities

Compliance N/A

Comments

No common use sanitary facilities have been identified in the development.

Requirement

Braille and Tactile signage are required to identify Ambulant Sanitary facilities

Compliance N/A

Comments

No ambulant sanitary facilities have been identified in the development.

Requirement

Braille and Tactile signage is required to identify Hearing Augmentation

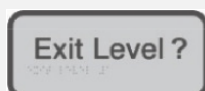
Compliance N/A

Comments

N/A

Requirement

Braille and Tactile signage is required to identify a Fire exit door required by [BCA2022](#), [E4D2](#) by stating the 'Exit' and 'Level', followed by either the floor level number or floor level descriptor or a combination of both of the above and located on the side that faces a person seeking egress



[Image description: Image of Signage The "?" shown in image is to be replaced with the floor level where the door is located]

Compliance Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

Requirement

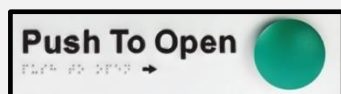
Signage is required where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility.

Compliance N/A

Comments

N/A

Requirement



Signage is required to a single hand pushing action device (example manual control button to an automated doorway) where the latch operation device is not located on the door leaf itself
Braille and tactile signage to identify the latch operation device.

Compliance

N/A

Comments

N/A

Requirement

All signage is required to be as per [BCA 2022 Specification 15 Braille and Tactile Signs](#)

This includes location of signage, specifications in regard to braille and tactile characters, luminance contrast and lighting.

Compliance

Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

BCA 2022 Part D4D8 Hearing Augmentation

Requirement

Hearing Augmentation is only required where an inbuilt amplification system (other than emergency) is installed in a Class 9b building, or in an auditorium, conference / meeting room or a reception area where a screen is used.

Compliance

N/A

Comments

No areas with provision of inbuilt amplification have been identified on plans and hence no hearing augmentation requirements apply to this development.

BCA 2022 Part D4D9 Tactile ground surface indicators (TGSIs)

Requirement

TGSIs are required when approaching:

- Stairways other than fire-isolated stairways.
- Escalators / passenger conveyor / moving walk.
- Ramp (other than fire-isolated ramps / kerb or step or swimming pool ramps).
- Under an overhead obstruction of <2M if no barrier is provided.
- When accessway meets a vehicular way adjacent to a pedestrian entry (if no kerb / kerb ramp provided at the location).

Compliance is required with AS1428.4.1 including Luminance contrast and slip resistance requirements for all TGSIs.

Compliance

Capable of compliance

Comments

TGSI selections generally take place at CC stage of works. Selection of TGSIs as specified will lead to compliance and these selection details are to be verified at CC stage of works.

BCA 2022 Part D4D12 Limitations on Ramps

Requirement

On an accessway:

- A series of connected ramps must not have a combined vertical rise of more than 3.6M;
- And a landing for a step ramp must not overlap a landing for another step ramp or ramp.

Compliance

Capable of compliance

Comments

To be verified at CC stage of works

BCA 2022 Part D4D13 Glazing on Accessways

Requirement

Glazing requirements:

- Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening are required to have a glazing strip
- The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.

Compliance

N/A

Comments

No common use glazed areas have been identified on the plans

BCA Part F Accessible Sanitary Facilities

BCA 2022 Part F4D5 Accessible Sanitary facilities

Requirement

Accessible unisex toilet is to be provided in accessible part of building such that;

- It can be entered without crossing an area reserved for 1 sex only
- Where male and female sanitary facilities are provided at different locations, Accessible unisex toilet is only required at one of the locations
- Even distribution of LH and RH facilities
- An accessible facility is not required on a level with no lift / ramp access.

Compliance N/A

Comments

No common use sanitary facilities have been identified in the development

BCA 2022 Part F4D6 Accessible unisex sanitary compartments

Requirement

Class 2

At least 1 unisex Accessible toilet when sanitary compartments are provided in common areas.

Compliance N/A

Comments

No common use sanitary facilities have been identified in the development

BCA 2022 Part F4D7 Requirements for Accessible unisex showers

Requirement

Class 2

At least 1 unisex Accessible shower when showers are provided in common areas.

Compliance N/A

Comments

No common use sanitary facilities have been identified in the development

Requirement

Accessible unisex toilet is to be designed in accordance with AS1428.1

Compliance N/A

Comments

No common use sanitary facilities have been identified in the development

Requirement

Showers for Accessible use are to be designed in accordance with AS1428.1

Compliance N/A

Comments

No common use sanitary facilities have been identified in the development

Requirement

Ambulant use male / female toilets are to be provided if an additional toilet to the Accessible unisex toilet is provided

Compliance N/A

Comments

No common use sanitary facilities have been identified in the development

AS4299.1995- Adaptable Housing

Appendix A of AS4299 schedule is a list of features to be incorporated into a housing unit for it to be termed an 'Adaptable House'.

There are 3 Classification levels for Adaptable Housing

Adaptable Class C in which all essential features are to be incorporated.

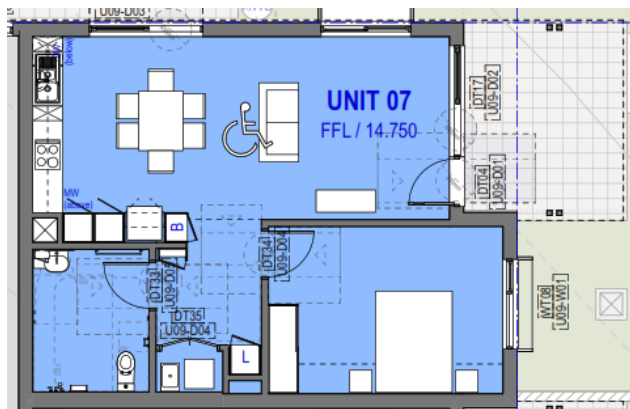
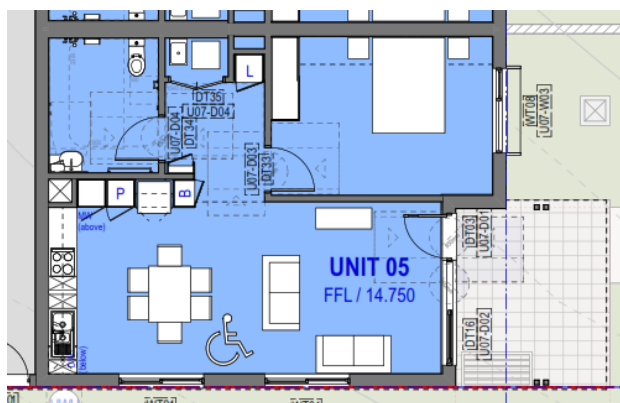
Adaptable Class B in which all Class C and 50% of 64 available desirable features are to be incorporated

Adaptable Class A in which all 119 essential and all desirable features are to be incorporated.

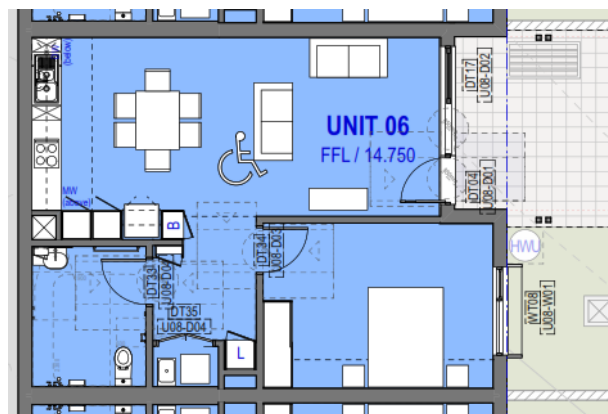
3 Adaptable units are required by the Council's DCP to a **Class C** level.

The units designated as adaptable are unit numbers 05, 06 & 07.

Pre-adaptation layout



Post-adaptation layout



By incorporating the essential requirements listed Checklist below in the Specifications, the nominated Adaptable units can achieve full compliance with Adaptable House Class C

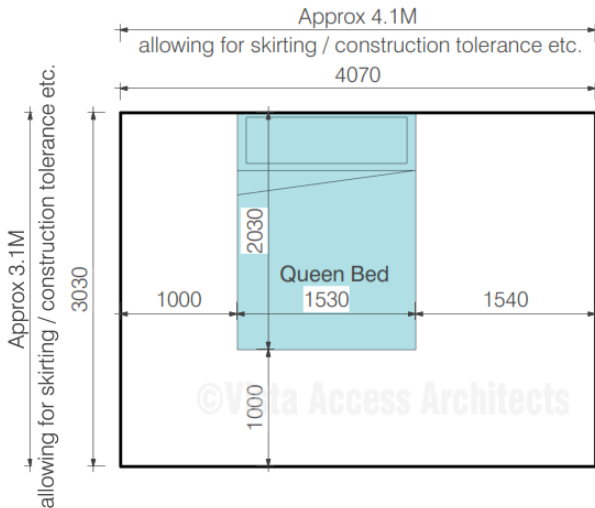
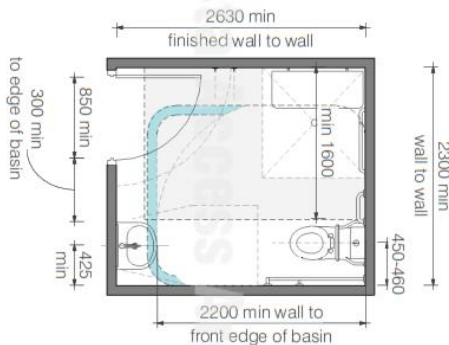
AS4299.1995 - Class C – Essential requirements

R☑ = Required; C☑ = Capable of compliance at **by adding the requirement to the project specifications** or in some cases capable of compliance at post adaptation stage (where noted in comments).

	Clause No	Requirements as per AS4299	R	C	Comments
	Drawings				
1	2.3	Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages	☑	☑	

	Clause No	Requirements as per AS4299	R	C	Comments
	Siting				
3	3.3.2	A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS 1428.1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Access is provided from street by means of an AS1428.1 compliant ramp / walkway and from accessible parking space. Details to be verified at the CC stage
	Letter boxes				
11	3.8	Letterboxes to be on hard standing area connected to accessible pathway	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Letterboxes for all Adaptable units to be between 900mm to 1100mm above FFL and min 500mm from any internal corner. Details to be verified at the CC stage
	Parking				
14	3.7.2	Car parking space or garage min. area 6.0Mx 3.8M or a hard surfaced level outside of 5.4Mx3.8M is provided as a sheltered car park or can be provided in the future	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Can also be provided as per AS2890.6, which is permissible. Details to be verified at the CC stage
	Accessible Entry				
20	4.3.1	Accessible entry	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Refer to door circulation requirements noted earlier in the report. Details to be verified at the CC stage
22	4.3.2	Accessible entry to be level (i.e. maximum of 1:40 slope)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
23	4.3.2	Threshold to be low-level	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
24	4.3.2	Landing to enable wheelchair manoeuvrability	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
25	4.3.1	Accessible entry door to have 850mm min. clearance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Usually achieved by 920mm door leaf. Door circulation spaces to be as per AS1428.1
27	4.3.4	Door lever handles and hardware to AS1428.1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Details to be verified at the CC stage
	Interior: General				
32	4.3.3	Internal doors to have 820mm minimum clearance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Provide an 850mm clear opening door to the adaptable bathroom and 1 main bedroom. Rest to have 820mm clear opening.
33	4.3.7	Internal corridors min. width of 1000mm	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	

	Clause No	Requirements as per AS4299	R	C	Comments
34	4.3.7	Provision for compliance with AS1428.1 for door approaches	✓	✓	Can be compliant post adapt, with easily removable cabinetry.
Living room and dining room					
36	4.7.1	Circulation space of min. 2250mm diameter.	✓	✓	
38	4.7.4	Telephone adjacent to GPO	✓	✓	Details to be verified at the CC stage
41	4.10	Potential illumination level minimum 300 lux	✓	✓	Details to be verified at the CC stage
Kitchen					
42	4.5.2	Minimum width 2.7M, (1550mm clear between benches)	✓	✓	Can be compliant post adaptation.
43	4.5.1	Provision for circulation at doors to comply with AS1428.1	✓	✓	N/A, No door provided to kitchen.
44	4.5.5	Provision for benches to include at least one work surface of 800mm length, adjustable in height from 750mm to 850mm or replaceable.	✓	✓	Can be compliant post adaptation.
45	4.5.5	Refrigerator adjacent to work surface	✓	✓	Can be compliant post adaptation.
46	4.5.6	Kitchen sink adjustable to heights from 750mm to 850 mm or replaceable	✓	✓	Can be compliant post adaptation.
47	4.5.6	Kitchen sink bowl maximum 150mm deep	✓	✓	Can be compliant post adaptation.
48	4.5.6 e	Tap set capstan or lever handles or lever mixer	✓	✓	Can be compliant post adaptation.
49	4.5.6 e	Tap set located within 300mm of front of sink	✓	✓	Can be compliant post adaptation.
51	4.5.7	Cooktops to include either front or side controls with raised cross bars.	✓	✓	Can be compliant post adaptation.
52	4.5.7	Cooktops to include isolating switch	✓	✓	Can be compliant post adaptation.
53	4.5.7	Work surface minimum 800 mm length, adjacent to cook top at same height	✓	✓	Can be compliant post adaptation.
54	4.5.8	Oven located adjacent to an adjustable height or replaceable work surface. It is recommended that a side door opening wall oven is provided with the clear work surface to be on the opposite side of the hinge.	✓	✓	Can be compliant post adaptation.
59	4.5.11	GPOs to comply with AS1428.1. At least one double GPO fully within 300mm of front of work surface.	✓	✓	Can be compliant post adaptation.

	Clause No	Requirements as per AS4299	R	C	Comments
60	4.5.11	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position.	✓	✓	Can be compliant post adaptation.
61	4.5.4	Slip-resistant floor surface as per AS3661 and AS 4586	✓	✓	Details to be verified at the CC stage.
Main bedroom					
		 <p>Choose a building block. [Image description: Diagram showing circulation spaces around a queen bed as per AS4299]</p>			
62	4.6.1	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS1428.2	✓	✓	A space of 1.54Mx2.07M at the base or one side of the bed is considered to be compliant.
Main Adaptable bathroom					
75	4.4.1	Provision for bathroom area to comply with AS1428.1	✓	✓	A bathroom with minimum space of 2Mx 2.95M or 2.3Mx2.7M or 2.4Mx2.45M is required.
		 <p>[Image description: Diagram shows Post Adaptation bathroom layout and location of wall reinforcements in pre-adaptation locations with reference to post adaptation layout] Noted dimensions on the above diagrams are approximate and depend on selected features such as size of the basin.</p>			
76	4.4.2	Slip-resistant floor surface as per AS3661 and AS 4586	✓	✓	Details to be verified at the CC stage
77	4.4.4 f	Shower recess - no hob. Minimum size 1160x1100mm to comply with AS1428.1	✓	✓	Details to be verified at the CC stage
78	4.4.4 f	Shower area waterproofed to AS3740 with floor to fall to waste	✓	✓	Details to be verified at the CC stage

	Clause No	Requirements as per AS4299	R	C	Comments
79	4.4.4 f	Recessed soap holder	✓	✓	If recessed is not provided a heavy duty load bearing soap holder will be required.
80	4.4.4 f	Shower taps positioned for easy reach to access side of shower sliding track.	✓	✓	Details to be verified at the CC stage
82	4.4.4 h	Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook plumbing and wall-strengthening provision (unless brick walls provided)	✓	✓	Reinforcement to wall to take the grabrails has to be provided as per requirements of AS4299
83	4.4.4 h	Provision for grabrail in shower to comply with AS1428.1	✓	✓	Details to be verified at the CC stage
<p>[Image description: Diagram showing wall reinforcement requirements for the Adaptable unit for WC and Shower, in post adaptive position]</p>					
86	4.4.4 c	Tap sets to be capstan or lever handles with single outlet	✓	✓	Details to be verified at the CC stage.
88	4.4.4 g	Provision for washbasin with clearances to comply with AS1428.1	✓	✓	Min of 425mm is required from the side wall to the centre line of the basin. Basin is required to be at least 300mm away from door swing.
90	4.4.4 d	Double GPO bedside mirror	✓	✓	Details to be verified at the CC stage.
Toilet					
92	4.4.3	Provision of either 'visitable toilet' or accessible toilet	✓	✓	Visitable is provided. Accessible can be provided post-adaptation.
93	4.4.1	Provision to comply with AS 1428.1	✓	✓	
94	4.4.3	Location of WC pan at correct distance from fixed walls	✓	✓	450mm – 460mm is required from the side wall to the centre line of the WC pan. Details to be verified at the CC stage.

	Clause No	Requirements as per AS4299	R	C	Comments
95	4.4.4 h	Provision for grabrail zone.	✓	✓	Reinforcement to wall to take the grabrails has to be provided as per requirements of AS4299 unless brick walls have been provided. Details to be verified at the CC stage.
96	4.4.2	Slip-resistant floor surface as per AS3661 and AS 4586	✓	✓	Details to be verified at the CC stage.
Laundry					
98	4.8	Circulation at doors to comply with AS1428.1	✓	✓	N/A cupboard style laundry is proposed.
99	4.8	Provision for adequate circulation space in front of or besides appliances (minimum 1550mm depth)	✓	✓	Details to be verified at the CC stage.
100	4.8 e	Provision for automatic washing machine	✓	✓	Details to be verified at the CC stage.
102	4.8 a	Where clothes line is provided, an accessible path of travel to this	✓	✓	Details to be verified at the CC stage.
105	4.8 g	Double GPO	✓	✓	Details to be verified at the CC stage.
108	4.9.1	Slip-resistant floor surface as per AS3661 and AS 4586	✓	✓	Details to be verified at the CC stage.
Door locks					
110	4.3.4	Door hardware operable with one hand, located 900-1100mm above floor	✓	✓	Details to be verified at the CC stage.

Requirement

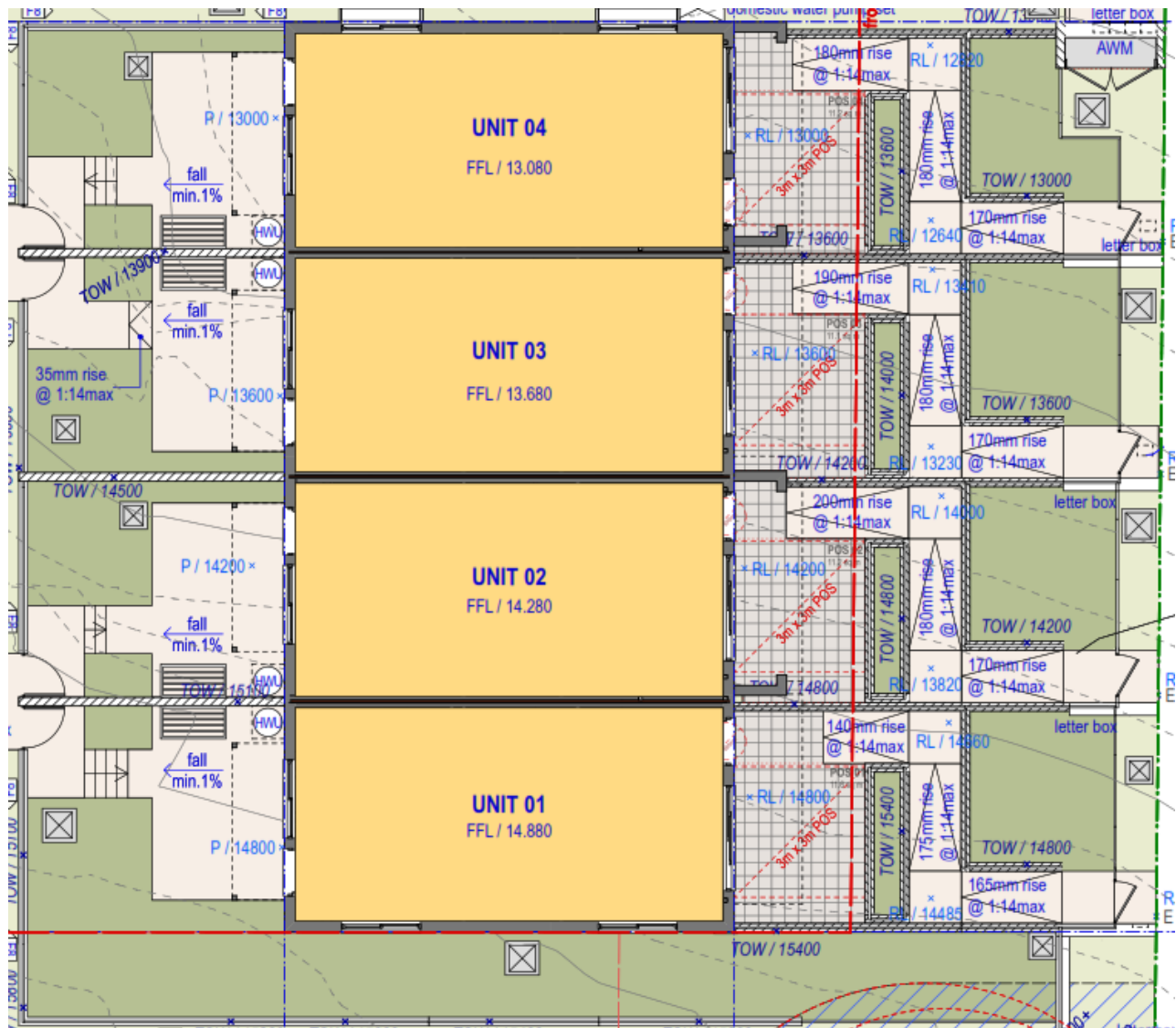
- Where the location of fixtures such as WC pans, wash basins, sinks, laundry fixtures and any other fixtures are to be relocated post-adaptation to comply with AS1428.1, then the service pipes (waste and water supply pipes) have to be laid in the correct AS1428.1 specified position at pre-adaptation itself and the services to be capped off for future use.

General recommendations (Advisory only / not mandatory)

- It is recommended that where balconies / outdoor areas have been provided to Adaptable units, provide the sliding doors such that the floor tracks are recessed, so level access can be provided to the balcony / outdoor areas from inside the unit.
- Sliding doors in the living areas leading to outdoor areas are to be such that opening of the door is able to provide a clear opening space of 850mm with a latch side space of 530mm.
- If the balcony is to be brought up to the same level as the unit at post-adaptation by means of decking etc. then ensure that the minimum handrail height requirements required under the BCA are complied with, considering the raised height of the balcony.
- Consideration to be given to recess the slab to the wet areas so that there is no level difference once the floor finishes are applied (i.e. flush transition from carpeted area to tiles area).

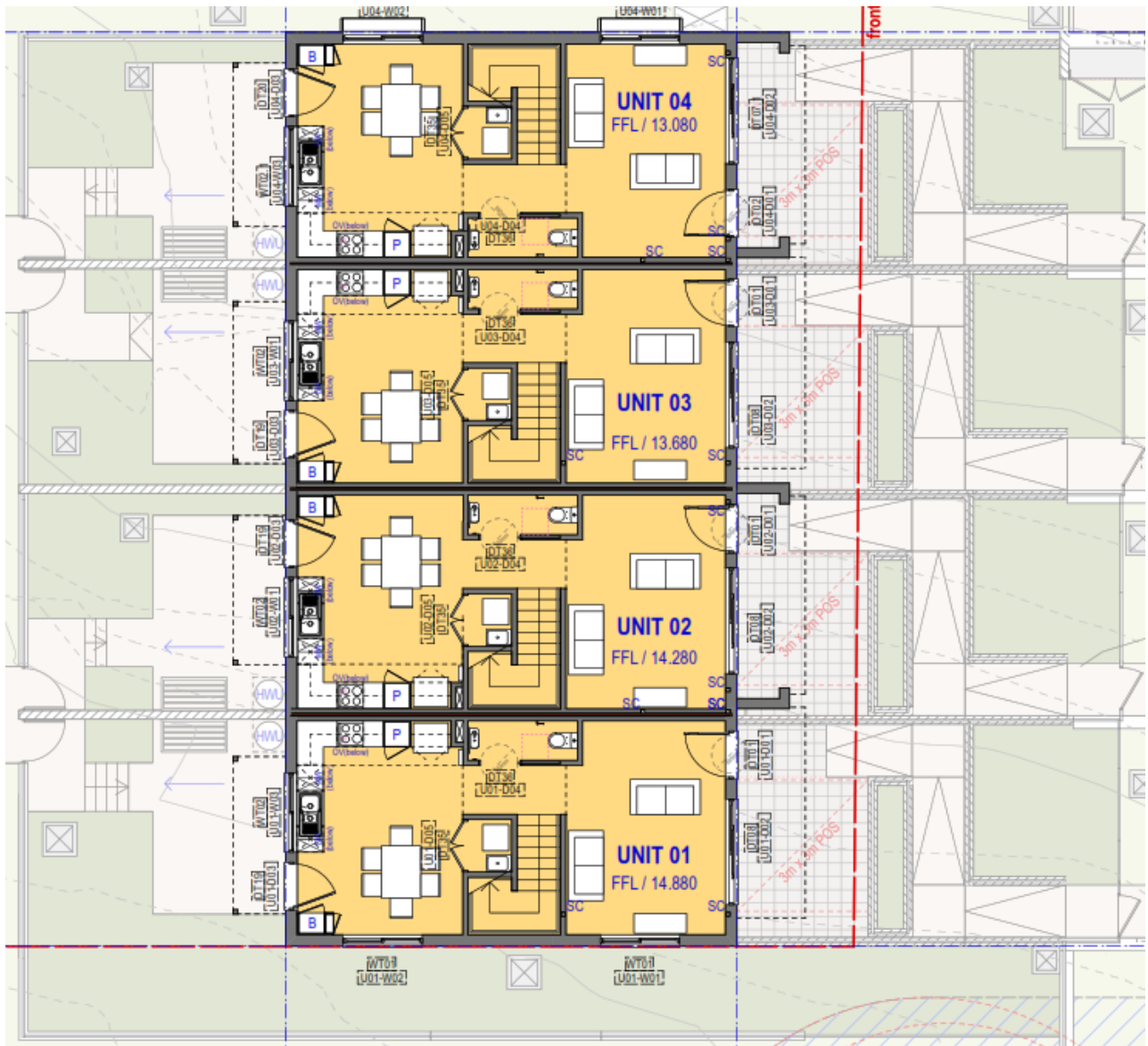
Silver Livable Units

The following 4 units (**Units 1, 2, 3 & 4**) are capable of providing compliance with the features of Silver level of Livable Housing Guidelines as noted in the table below.

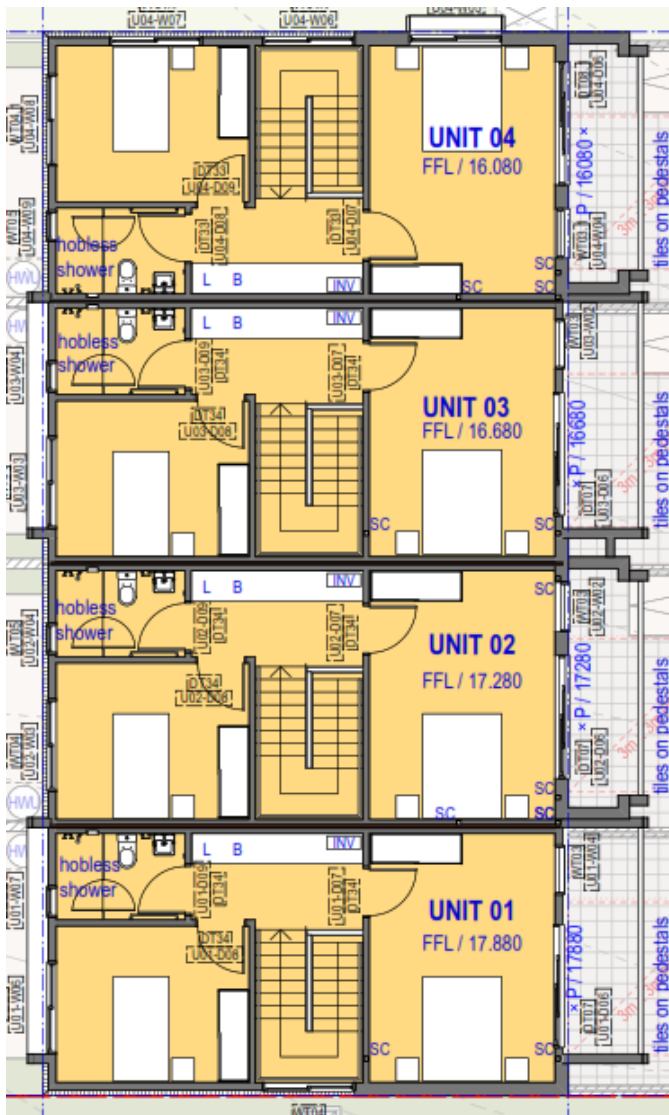


Access from site boundary is via 1:14 grade.

A clear space of 1200x1200 is to be achieved clear of the gate swing to the start of the ramp



Units – 1 to 4 (ground floor level)



Units – 1 to 4 (first floor level)

By incorporating the requirements of the below Checklist in the Specifications of the project, the nominated Livable units can achieve full compliance with Livable Housing Guidelines- Silver Level

All details to be verified at the CC stage

Design Element	Requirements (All dimensions noted are required to be clear of finishes as required under AS1428.1)	Compliance / Comments
1 Dwelling Access	<ul style="list-style-type: none"> a. Provide a safe and continuous 1M clear width pathway from front site boundary to an entry door to the dwelling. b. Path including any ramps and walkways to have no steps, even firm, slip-resistant surface, max 1:40 crossfall, max slope of 1:14 with landings of 1.2M every 9M and landings every 15M for 1:20 walkways. 1M clear width of ramps are required. c. Pathway may be provided via an associated car parking in which case the car parking space to be <ul style="list-style-type: none"> ▪ 3200 (width) x5400 (length), ▪ even, firm and slip resistant, level surface of 1:40 max grade and 1:33 max grade for bitumen 	<p>Complies. Details to be verified at CC stage of works</p> <p>N/A Access is provided from the site boundary.</p>

	<ul style="list-style-type: none"> d. Step ramp may be provided at an entrance doorway. The step ramp to be max 190mm height, max 1:10 grade, max 1900mm length. e. Level landings of 1200mm are required exclusive of the swing of the door or gate and to be provided at the head and foot of the ramp. 	<p>N/A</p> <p>Capable of compliance. Details to be verified at CC stage of works</p>
2 Dwelling entry	<ul style="list-style-type: none"> a. Dwelling Entry should provide an entrance door with <ul style="list-style-type: none"> i. min clear opening width of door to be 820mm ii. Step free threshold of max 5mm with rounded or beveled lip iii. reasonable shelter from the weather b. Level landing of 1200x1200mm at step-free entrance door on the arrival / external side of the entrance door. c. Max permissible threshold is less than 56mm where provided with a 1:8 grade threshold ramp. d. Entrance to be connected to a pathway (specified under Element 1) Note: The entrance to incorporate waterproofing and termite management requirements as specified in the NCC 	<p>Capable of compliance. Details to be verified at CC stage of works</p> <p>Complies. Details to be verified at CC stage of works</p> <p>N/A</p> <p>Complies. Details to be verified at CC stage of works Waterproofing compliance by others.</p>
3 Internal doors and corridors	<ul style="list-style-type: none"> a. Doors to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartments to be <ul style="list-style-type: none"> i. 820mm clear opening and ii. provided with a level threshold of max 5mm between abutting surfaces with rounded or beveled lip b. Internal corridors and passageways to doorway to be min 1M clear (measured from skirting to skirting) 	<p>Capable of compliance. Details to be verified at CC stage of works</p> <p>Capable of compliance. Details to be verified at CC stage of works</p>
4 Toilet	<ul style="list-style-type: none"> a. One Toilet to be provided on the ground or entry level that provides, <ul style="list-style-type: none"> i. Min 900mm between walls or amenities ii. Min 1200mm clear space in forward of the WC pan exclusive of door swing. iii. The toilet pan to be positioned in the corner of a room to enable handrails 	<p>Complies. Details to be verified at CC stage of works</p>
5 Shower	<ul style="list-style-type: none"> a. One bathroom should feature a slip resistant, hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date. b. The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date. 	<p>Complies. Details to be verified at CC stage of works</p>

For hobless specification please see Australian Standard AS3740-3.6. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6

6

Reinforcement of bathroom & toilet walls

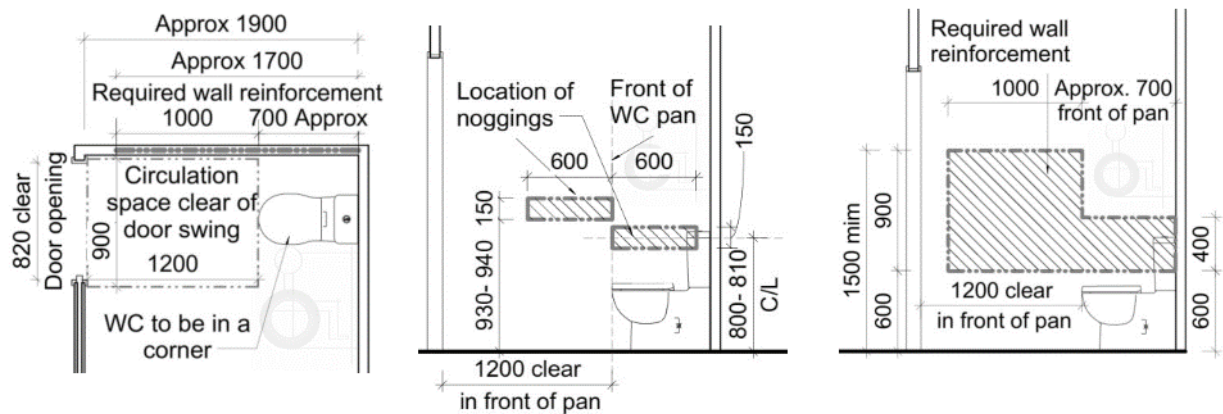
- a. Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails.

Complies with spatial requirements. Details to be verified at CC stage of works

- (b), (c) and (d) the walls around toilet, bath and shower to be via:
i. Noggins with a thickness of at least 25mm
ii. Sheeting with a thickness of at least 12mm

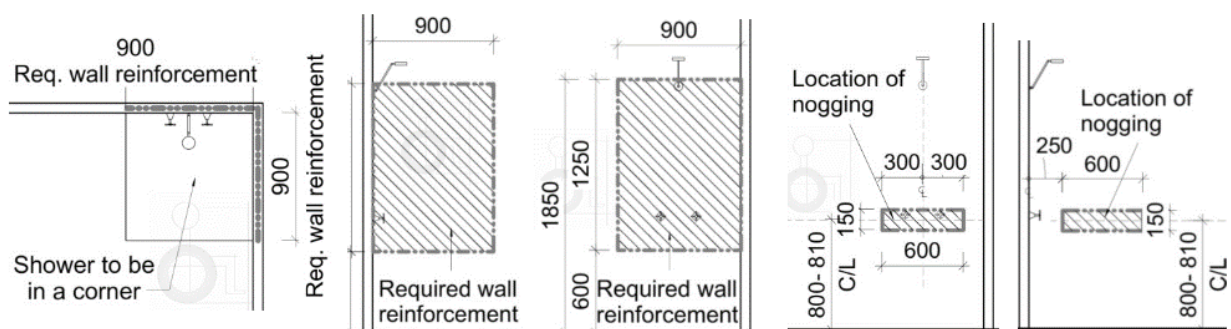
Complies with spatial requirements. Details to be verified at CC stage of works

Refer to diagrams provided in the Livable Housing Guideline document.

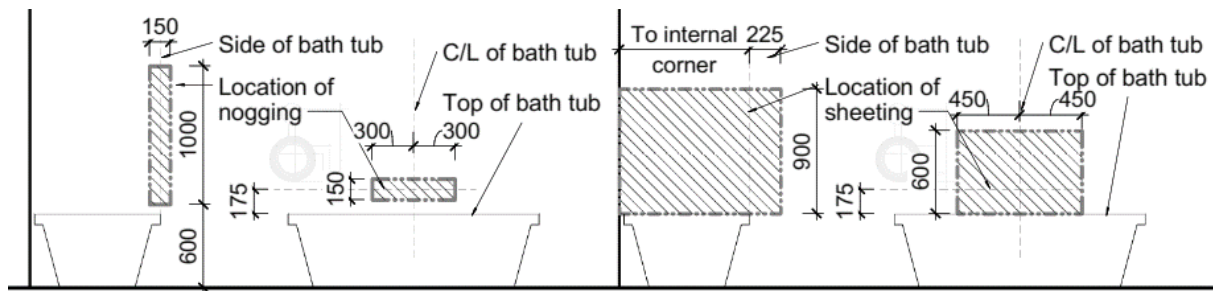


[Image description: Diagram shows wall reinforcements options of noggins or sheeting for a toilet]

Note: In a standalone toilet, the wall reinforcements are required to both sides. Any door openings/ door frames are required to be clear of the required wall reinforcements. If wall with cavity slider is used for wall reinforcements, then allow for additional thickness for the wall.



[Image description: Diagram shows wall reinforcements options of noggins or sheeting for a shower]



[Image description: Diagram shows wall reinforcements options of noggings or sheeting for a bathtub]

7

Internal Stairways

Stairways in dwellings must feature:

- a continuous handrail on one side of the stairway where there is a rise of more than 1M.

Complies.

Details to be verified at CC stage of works

Statement of Experience

Vista Access Architects specialises in disability access consultancy services including, Disability Access and inclusion requirements, Access Performance Solutions under the NCC, NDIS SDA Certifications, Livable Housing Certifications and Changing Places Certifications.



Farah Madon - Director

- **ACA Accredited Access Consultant**
- **NDIS Accredited SDA Assessor**
- **Livable Housing Assessor**
- **Changing Places Assessor**

- Accredited and Fellow member of the Access Consultants Association (ACA) - 281
- NDIS Accredited SDA (Specialist Disability Accommodation) Assessor SDA00001
- Architect registered with the NSW Architect's Registration Board - Registration 6940
- Member of Australian Institute of Architects (RAIA), A+ Practice Member 49397
- Registered Assessor of Livable Housing Australia - Registration 10032
- Global Alliance on Accessible Technologies and Environments (GAATES) - BE-02-021-20
- Registered Assessor of Changing Places Australia - Registration CP006

Farah's Educational Profile and Qualifications include:

- Bachelor of Architecture Degree with Honours (B.Arch.)
- International Certification of Accessibility Consultants – Built Environment (ICAC-BE) Program, Level 2 Advanced Accessibility Consultant
- Diploma of Access Consulting

Farah has 20 years of experience of working in the field of Architecture and Access.

Farah is the lead author of the NDIS SDA Design Standard. She has been invited on multiple occasions as an expert witness for Access related matters in the NSW Land and Environment Court.

Farah currently participates on the following key committees concerning access for people with disabilities, on an honorary basis:

- President of Access Consultants Association (previously known as ACAA)
- Member of Standards Australia's ME-064 Committee responsible for the AS4299 and AS1428 suite of standards.
- Community Representative Member of the Penrith City Council's Access Committee
- Member of Australian Institute of Architect's National Enabling Architecture Committee (NEAC)
- Member of Changing Places Australia Technical Advisory Team

Some Recent Awards presented to Farah include:

- 2023 Mulgoa Local Woman of the Year
- 2022 ACAA Fellow Award
- 2021 Australian Access Awards - Winner for the Educational App of the Year - SDA Tools
- 2021 Excellence in Inclusion - Altitude Awards
- 2019 Penrith Citizen of the Year
- 2019 ACAA Access Inclusion Award





Vanessa Griffin

- ACA Accredited Access Consultant
- NDIS Accredited SDA Assessor
- Livable Housing Assessor
- Changing Places Assessor

- Accredited member of ACA (previously ACAA) - 500
- NDIS Accredited SDA Assessor SDA00009
- Registered LHA Assessor - 20035
- Registered Assessor of Changing Places Australia - CP010



Jenny Desai

- ACA Accredited Access Consultant
- NDIS Accredited SDA Assessor
- Livable Housing Assessor

- Accredited member of ACA (previously ACAA) - 572
- NDIS Accredited SDA Assessor SDA00043
- Registered LHA Assessor - 20242
- Master's degree in Design M.Des



Art Phonsawat

- ACA Accredited Access Consultant
- NDIS Accredited SDA Assessor
- Livable Housing Assessor

- Accredited member of ACA (previously ACAA) - 695
- NDIS Accredited SDA Assessor
- Registered LHA Assessor



Trin Woo

- ACA Affiliate Access Consultant

- Affiliate Member of ACA (previously ACAA) - 776
- Bachelor's degree in Architecture B.Arch



Swapna Menon

- ACA Affiliate Access Consultant

- Affiliate Member of the ACA (previously ACAA) - 798
- Bachelor's degree in Architecture B.Arch



Rodney Shepherd

- ACA Affiliate Access Consultant

- Affiliate Member of ACA (previously ACAA) - 751
- Master's Degree in Building Surveying (Distinction)

